

Cumberland County Schools Central Services Building Roofing Replacement

2465 Gillespie Street

Fayetteville, North Carolina 28306

Owner: Cumberland County Schools

GORDON JOHNSON
Architecture

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2465 Gillespie Street
Fayetteville, NC 28306

DRAWN BY: J.P. Pike
REVIEWED BY: G. Johnson
DATE: 3-10-22
PROJECT NO.: 2105
NOTES:

REVISIONS	

SHEET NUMBER

TSI

Building Code Summary Appendix "B" (Abbreviated for Re-roofing Only)
(Following 2018 NC State Building Code)

Name of Project: Cumberland County Schools Central Services Re-Roofing
Address: 2465 Gillespie Street, Fayetteville, NC 28306
Owner or Authorized Agent: Chip Perry Phone #: 910-678-2551
e-mail: philipperry@ccs.k12.nc.us
Owned By: Private City/County State
Enforcement Jurisdiction: City County City/County
Name of Jurisdiction: Fayetteville, NC

PROJECT SUMMARY: Remove all exg. roofing & insulation, and install new roof membrane new cover board & insulation specified.
Building Description: Similar to type IIA un sprinkled business occupancy - masonry walls with concrete deck and single-ply roofing. Original building constructed in 1964.

LEAD DESIGN PROFESSIONAL / PROJECT COORDINATOR: Gordon Johnson, AIA, LEED AP
DESIGNER FIRM NAME NC LICENSE # TELEPHONE #
Architectural: Gordon Johnson Architecture Gordon Johnson 6194 910-223-2186
e-mail: gordon@gordonjohnsonarchitecture.com

Occupancy Information:
Primary Occupancy - Business

Building Area:
Area of Re-Roofing Construction: 18,612 s.f.

Fire Protection Requirements:
Roof / Ceiling assembly is non-rated

2018 North Carolina Energy Conservation Code:
Roof membrane & insulation replacement to equal min of R25

Structural Design Loads (For Re-roofing Only):

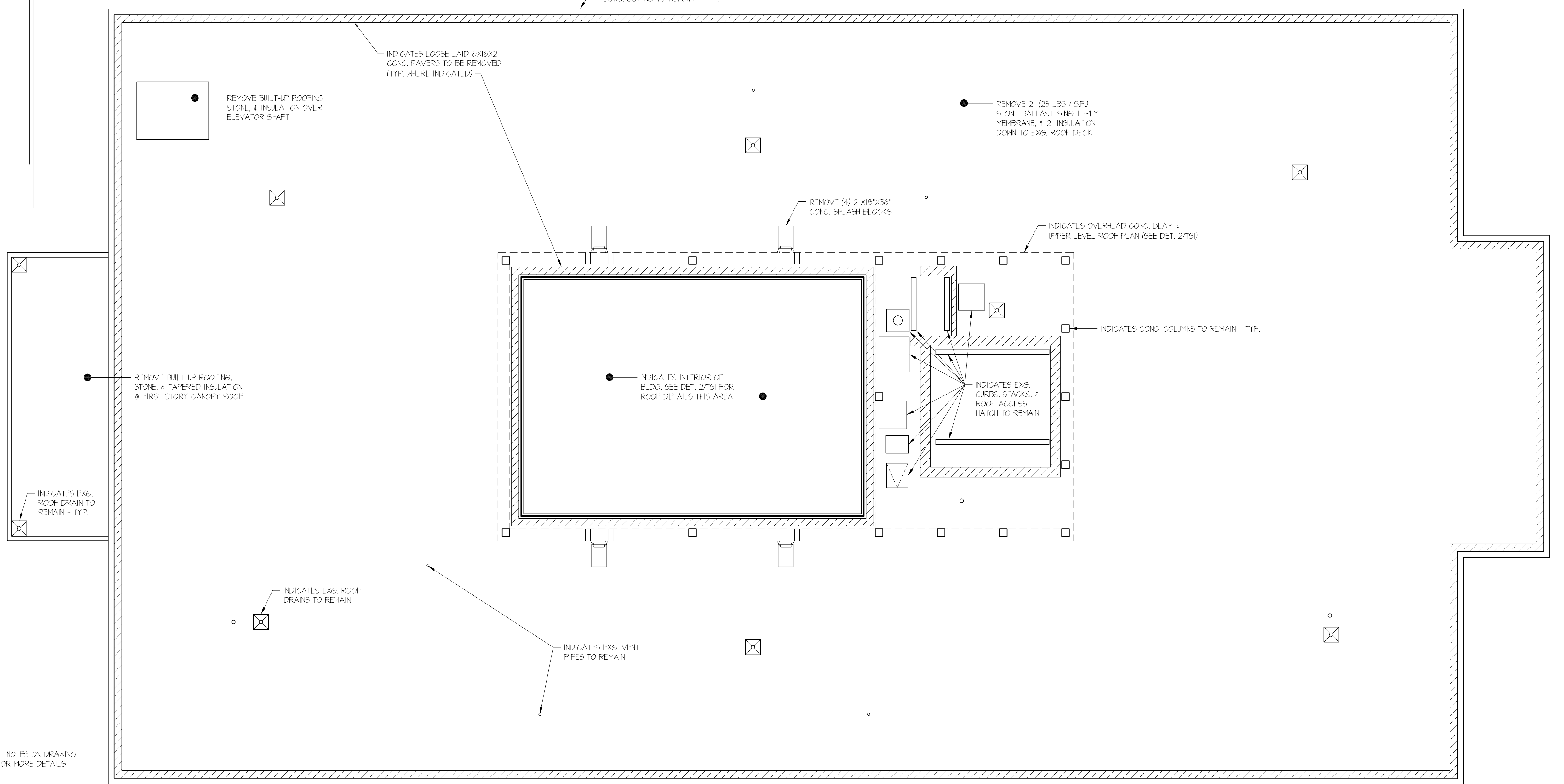
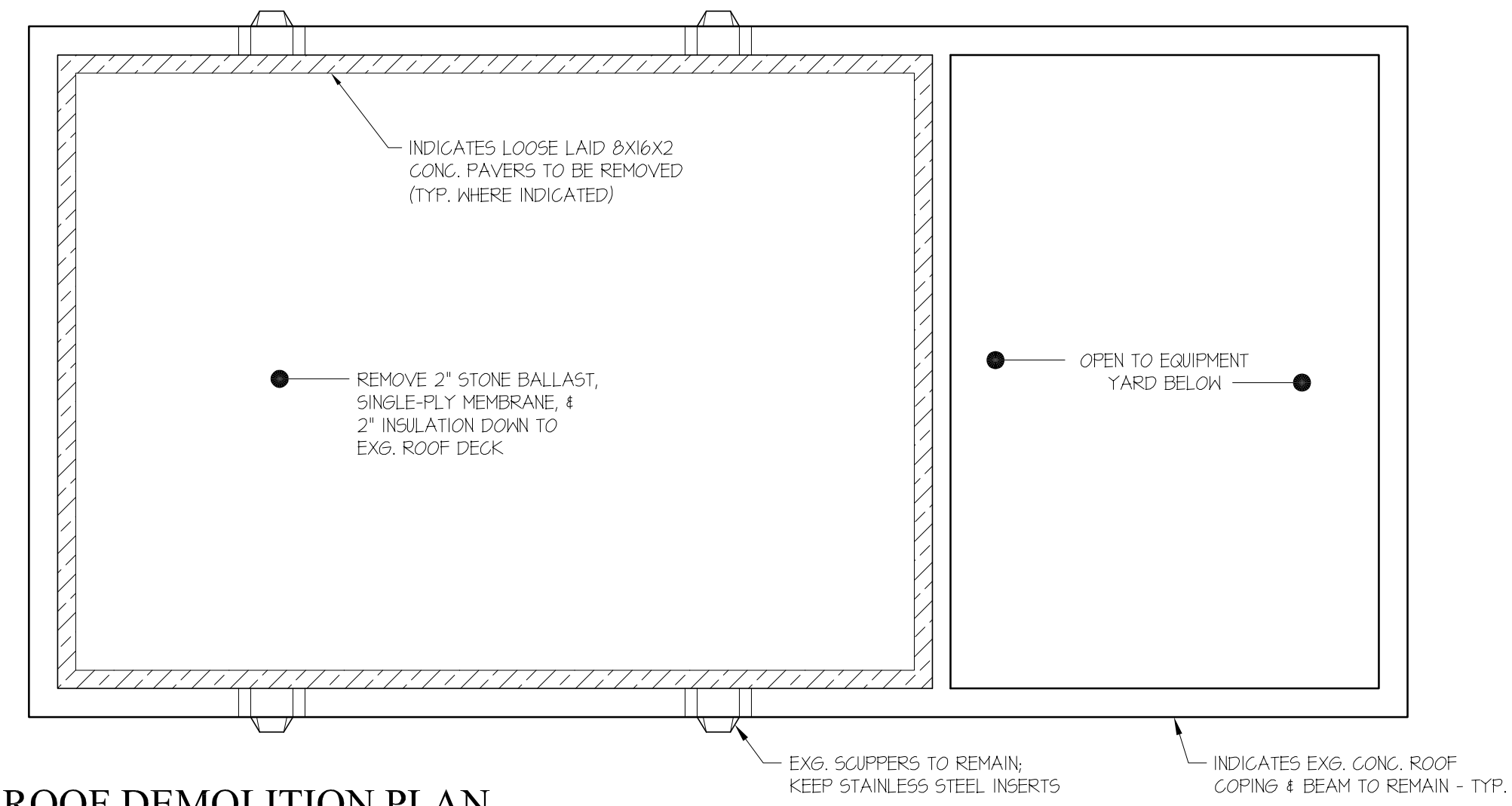
- General Notes
1) Design Loads
Risk Category III
- Dead Loads:
New Roofing Construction - 15 lbs./s.f.
New Insulation Construction - 3.0 lbs./s.f.
- Wind Load:
Ultimate Wind Speed (3-second gust) 130 mph - Fig. 1609.3 (2)
Normal Wind Speed 101 mph (2018 NC Building Code) - Table 1609.3.1
Exposure Category: B
- Component 4 Cladding:
All cladding and building components are designed and anchored to resist 110 mph. Component and cladding uplift wind forces determined according to the 2018 NC State Building Code for the Exposure Category indicated above including safety factor are:
Zone 1: 42.30 lb/sf
Zone 2: 71.00 lb/sf
Zone 3: 106.26 lb/sf
Provide all bracing and connections necessary to transfer lateral loads to structure.
- 2) Follow recommendations of single-ply membrane manufacturer, SFRJ, NRCA, SMACNA, and industry standards to meet wind loads indicated above.



Drawing Sheet Index

- T51 Cover Sheet & Demolition Plan
- A1.0 Renovation Roof Plan & Notes
- A2.0 Roof Details

2 UPPER ROOF DEMOLITION PLAN
1/8" = 1'-0"

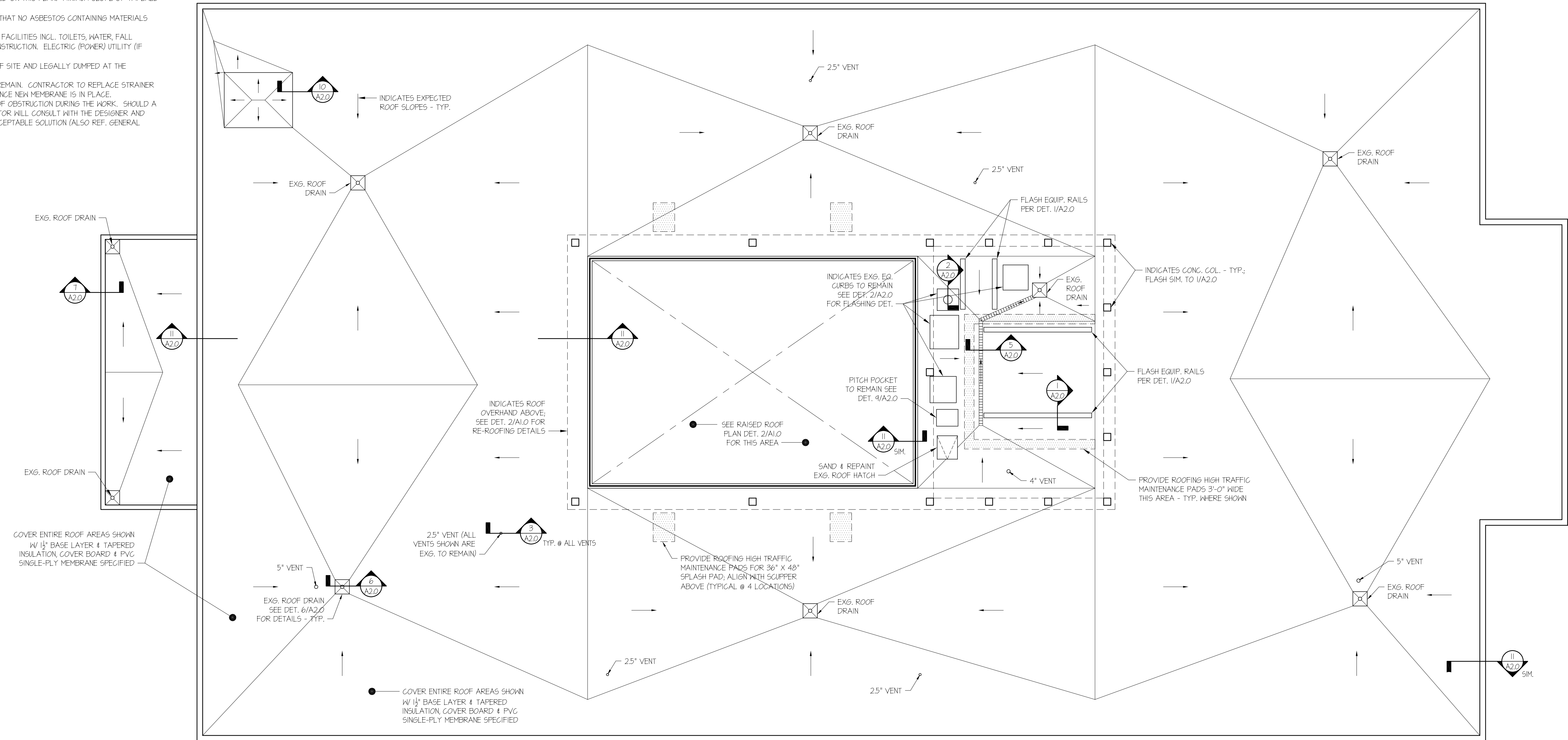


1 MAIN ROOF DEMOLITION PLAN
1/8" = 1'-0"

SEE GENERAL NOTES ON DRAWING SHEET A1.0 FOR MORE DETAILS

GENERAL NOTES

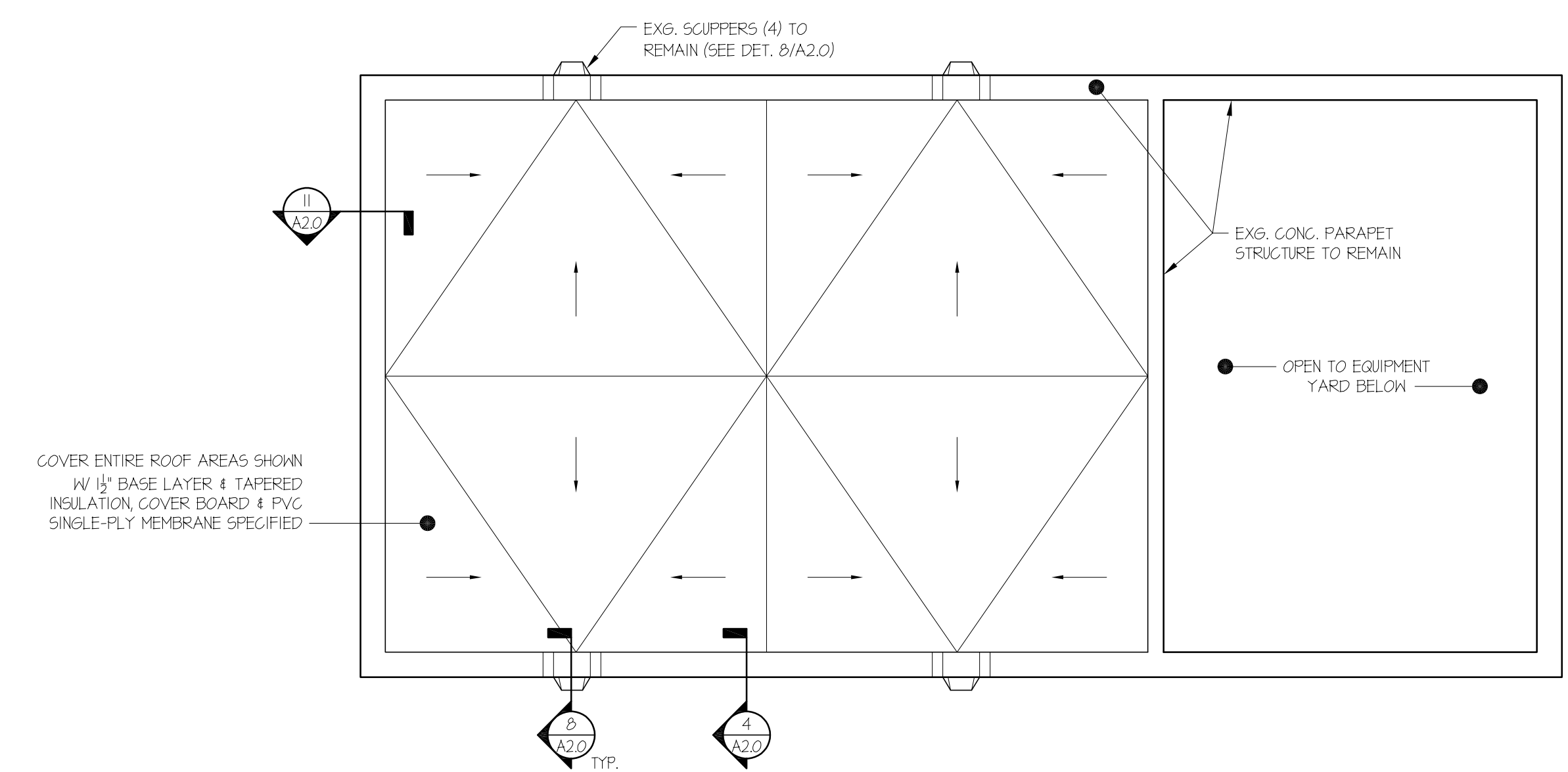
- 1) ALL ROOFTOP COMPONENTS SHOWN ARE EXISTING UNLESS OTHERWISE NOTED (I.O.N)
- 2) SEE SHEET A2.0 FOR ALL TYPICAL RENOVATION DETAILS.
- 3) CONTRACTOR MAY MECHANICALLY FASTEN ALL NEW ROOF COMPONENTS W/ SCREWS THAT PENETRATE THE EXG. CONG. ROOF DECK TO RESIST PULLOUT RESISTANCE OF 440 LBS. BIDDERS ARE NOT ALLOWED TO DO THEIR OWN PULL TEST ON THIS DECK. CONTRACTOR TO REVIEW WITH THE ARCHITECT AND CSS REPRESENTATIVE ANY ROOF AREAS THAT MAY BE SUSPECT FOR DAMAGED CONG. DECK AND, IF FOUND, TO DETERMINE THE TOTAL AREA OF DAMAGED MATERIAL AND PROPOSE A CHANGE ORDER FOR REPAIRING THE SAME.
- 4) PROVIDE AND INSTALL NEW PVC SINGLE-PLY MEMBRANE, INSULATION, & COVER BOARD AS SPECIFIED OVER ENTIRE ROOF AREA AS INDICATED ON THIS PLAN. MINIMUM SLOPE OF TAPERED INSULATION TO BE 1/4" FT.
- 5) CUMBERLAND COUNTY SCHOOLS HAS CONFIRMED THAT NO ASBESTOS CONTAINING MATERIALS WERE USED TO CONSTRUCT THE EXISTING ROOF.
- 6) CONTRACTORS SHALL PROVIDE ALL TEMPORARY FACILITIES INCL. TOILETS, WATER, FALL PROTECTION, ETC. DURING ENTIRE COURSE OF CONSTRUCTION. ELECTRIC (POWER) UTILITY (IF NEEDED) WILL BE PROVIDED BY THE OWNER.
- 7) ALL CONSTRUCTION DEBRIS SHALL BE HAULED OFF SITE AND LEGALLY DUMPED AT THE CONTRACTOR'S EXPENSE.
- 8) ALL EXISTING ROOF DRAINS INDICATED ARE TO REMAIN. CONTRACTOR TO REPLACE STRAINER BASKETS & CLAMP RINGS W/ NEW COMPONENTS ONCE NEW MEMBRANE IS IN PLACE.
- 9) ALL EGRESS DOORS / PATHS TO BE KEPT FREE OF OBSTRUCTION DURING THE WORK. SHOULD A REASON ARISE TO ALTER EGRESS, THE CONTRACTOR WILL CONSULT WITH THE DESIGNER AND LOCAL A.H.J. / FIRE MARSHAL TO DEVELOP AN ACCEPTABLE SOLUTION (ALSO REF. GENERAL CONDITIONS ARTICLE III).



COVER ENTIRE ROOF AREAS SHOWN W/ 1/2" BASE LAYER & TAPERED INSULATION, COVER BOARD & PVC SINGLE-PLY MEMBRANE SPECIFIED

COVER ENTIRE ROOF AREAS SHOWN W/ 1/2" BASE LAYER & TAPERED INSULATION, COVER BOARD & PVC SINGLE-PLY MEMBRANE SPECIFIED

1 MAIN ROOF RENOVATION PLAN
1/8" = 1'-0"

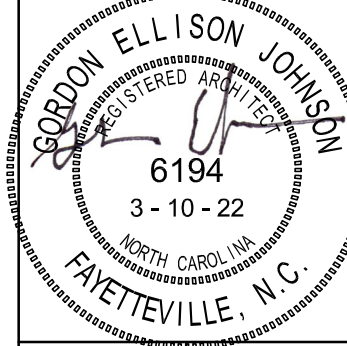


2 UPPER ROOF RENOVATION PLAN
1/8" = 1'-0"



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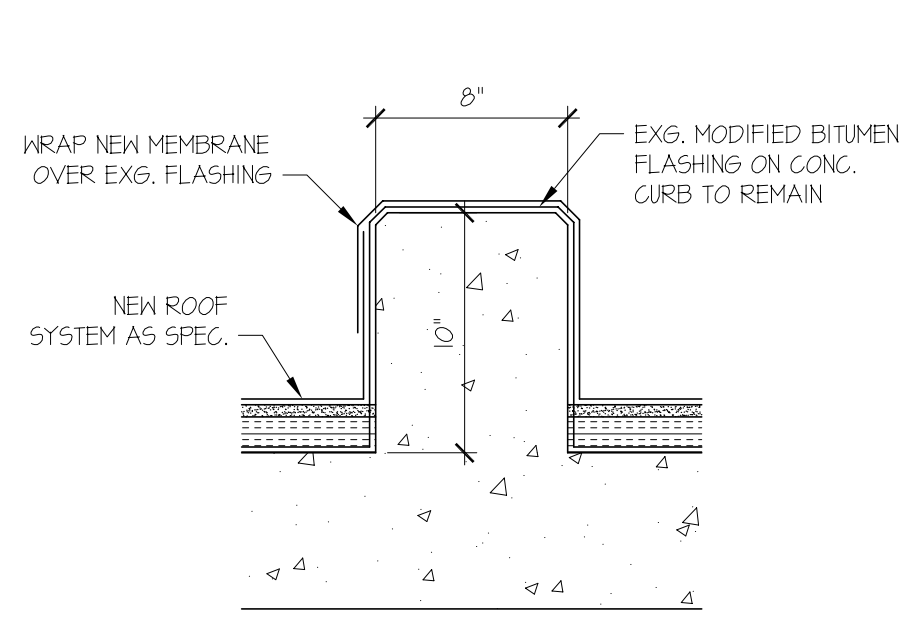
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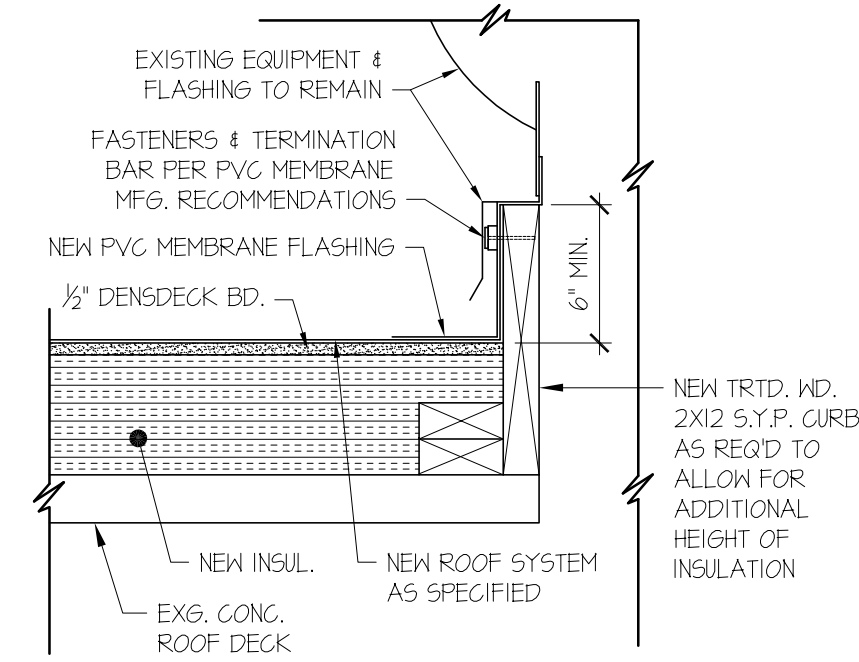
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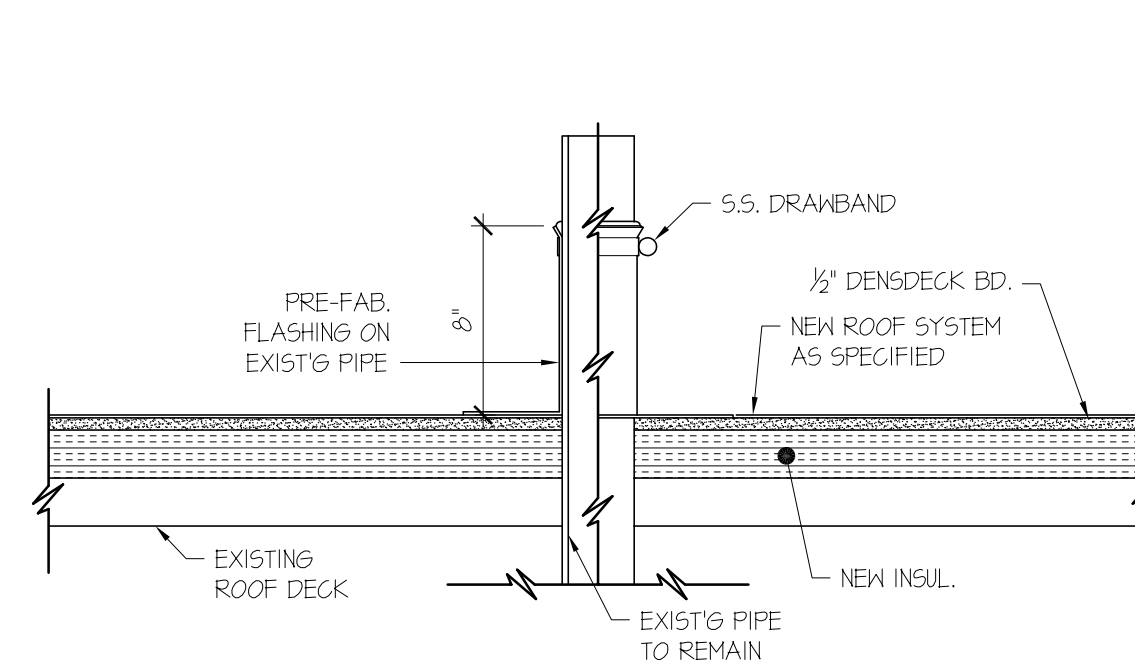




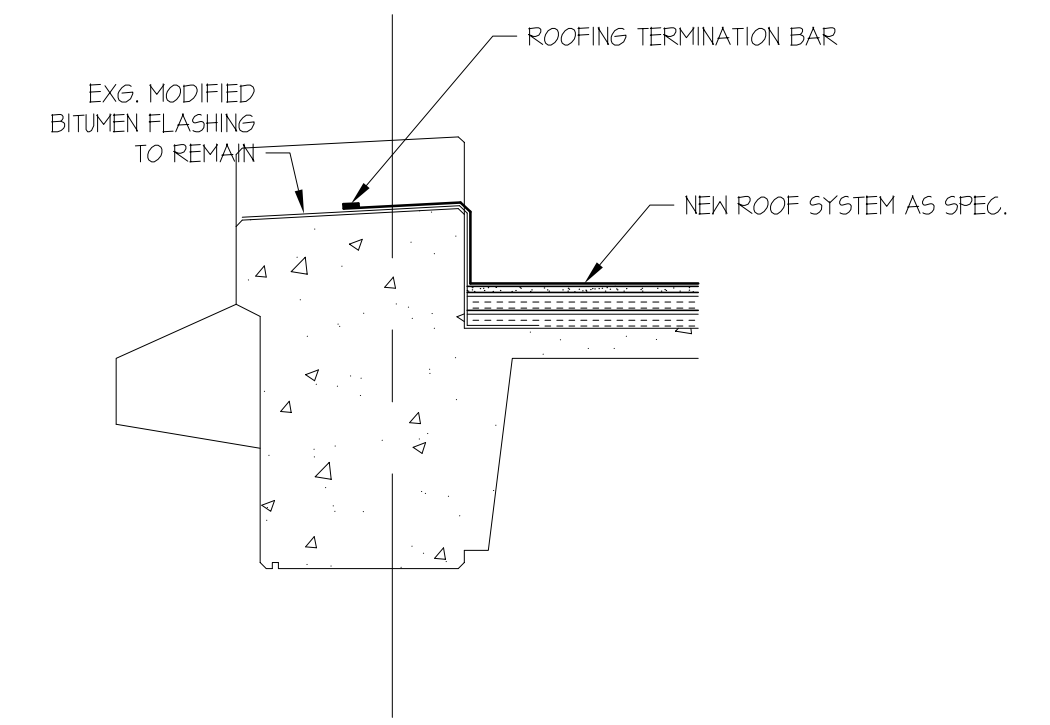
1 EQUIPMENT RAIL DETAIL
1 1/2" = 1'-0"



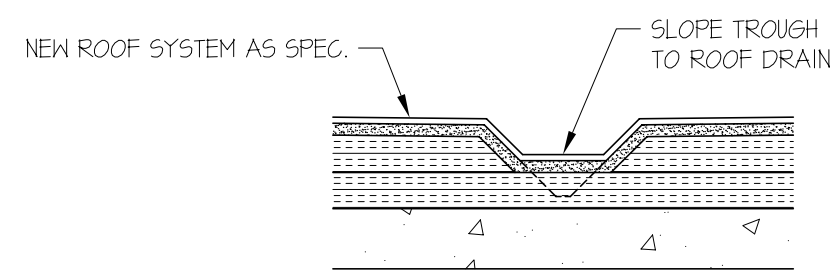
2 EQUIPMENT DETAIL
1 1/2" = 1'-0"



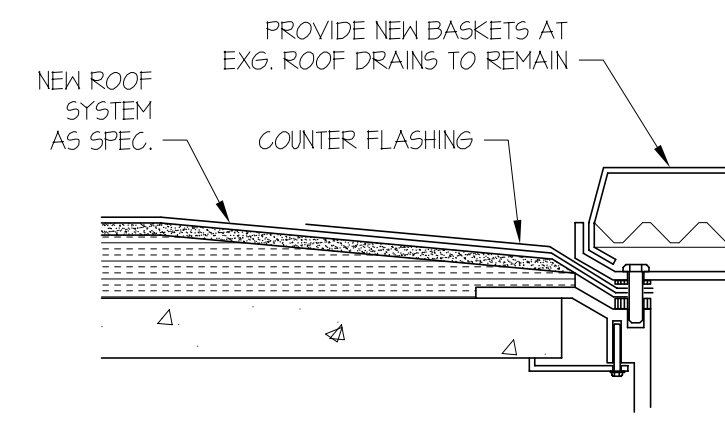
3 VENT DETAIL
1 1/2" = 1'-0"



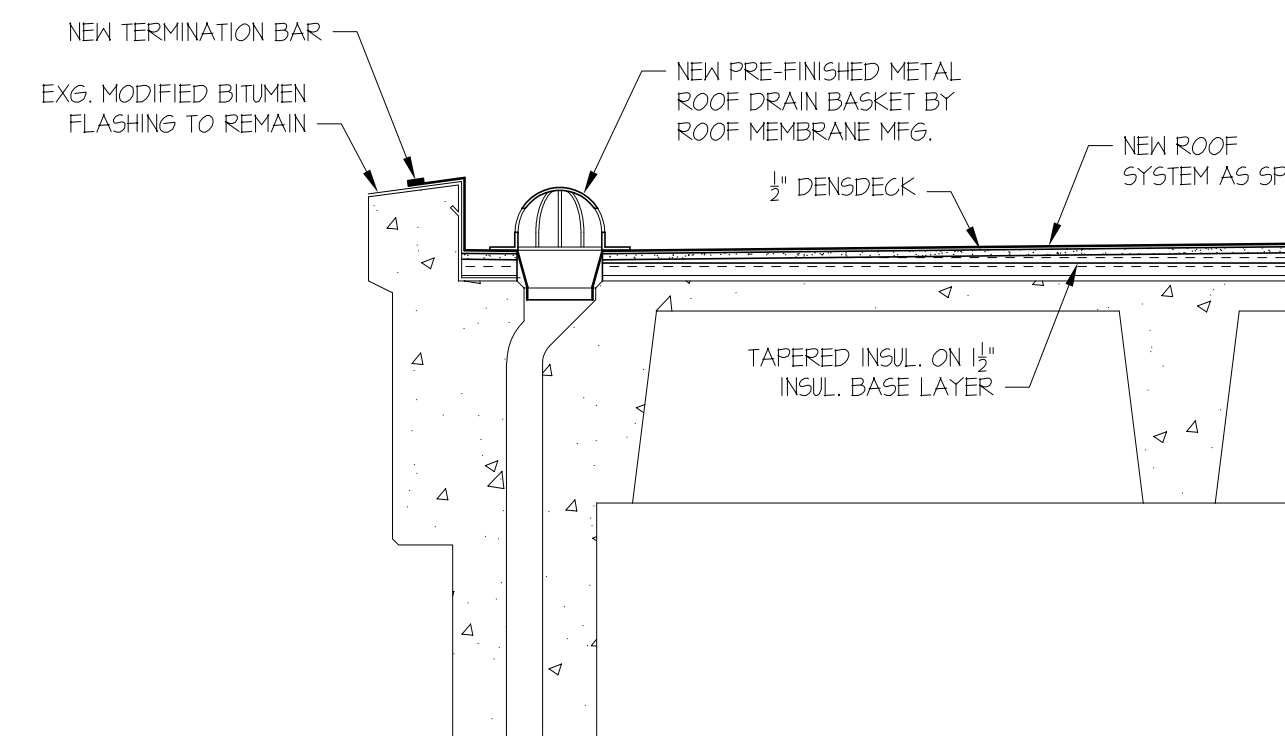
4 HIGH ROOF EAVE DETAIL
3/4" = 1'-0"



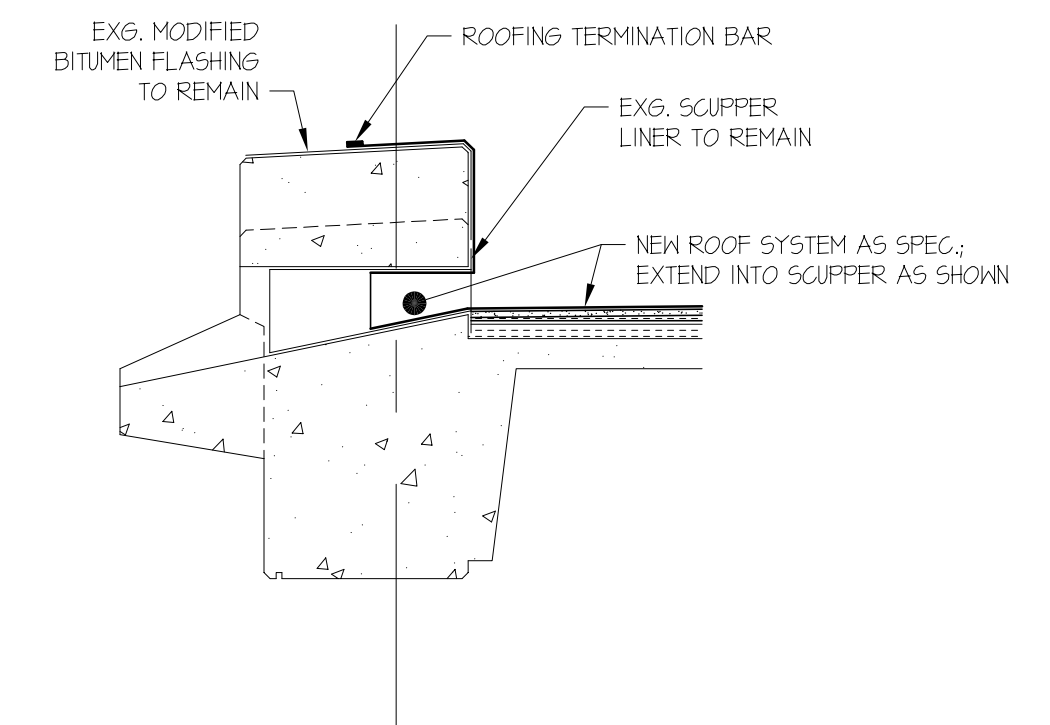
5 DRAINAGE TROUGH DETAIL
1 1/2" = 1'-0"



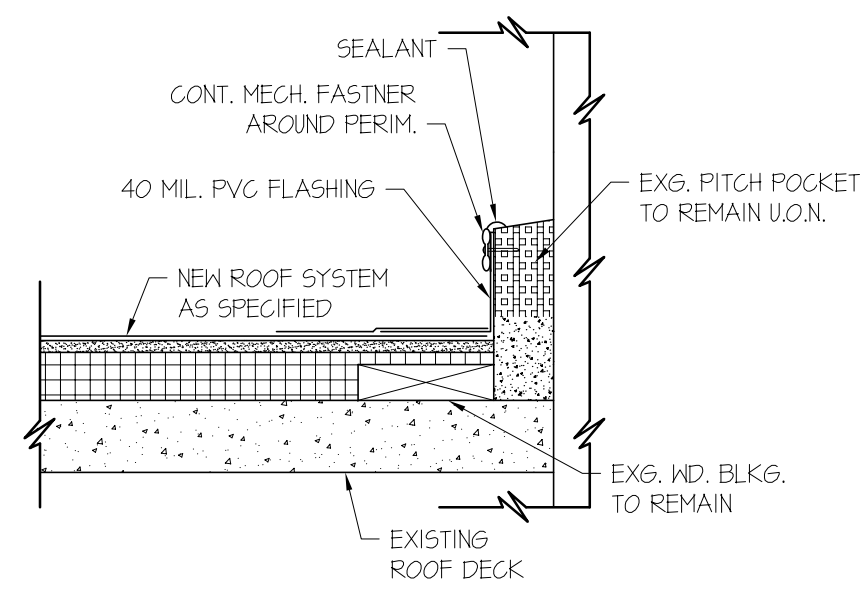
6 ROOF DRAIN DETAIL
3/4" = 1'-0"



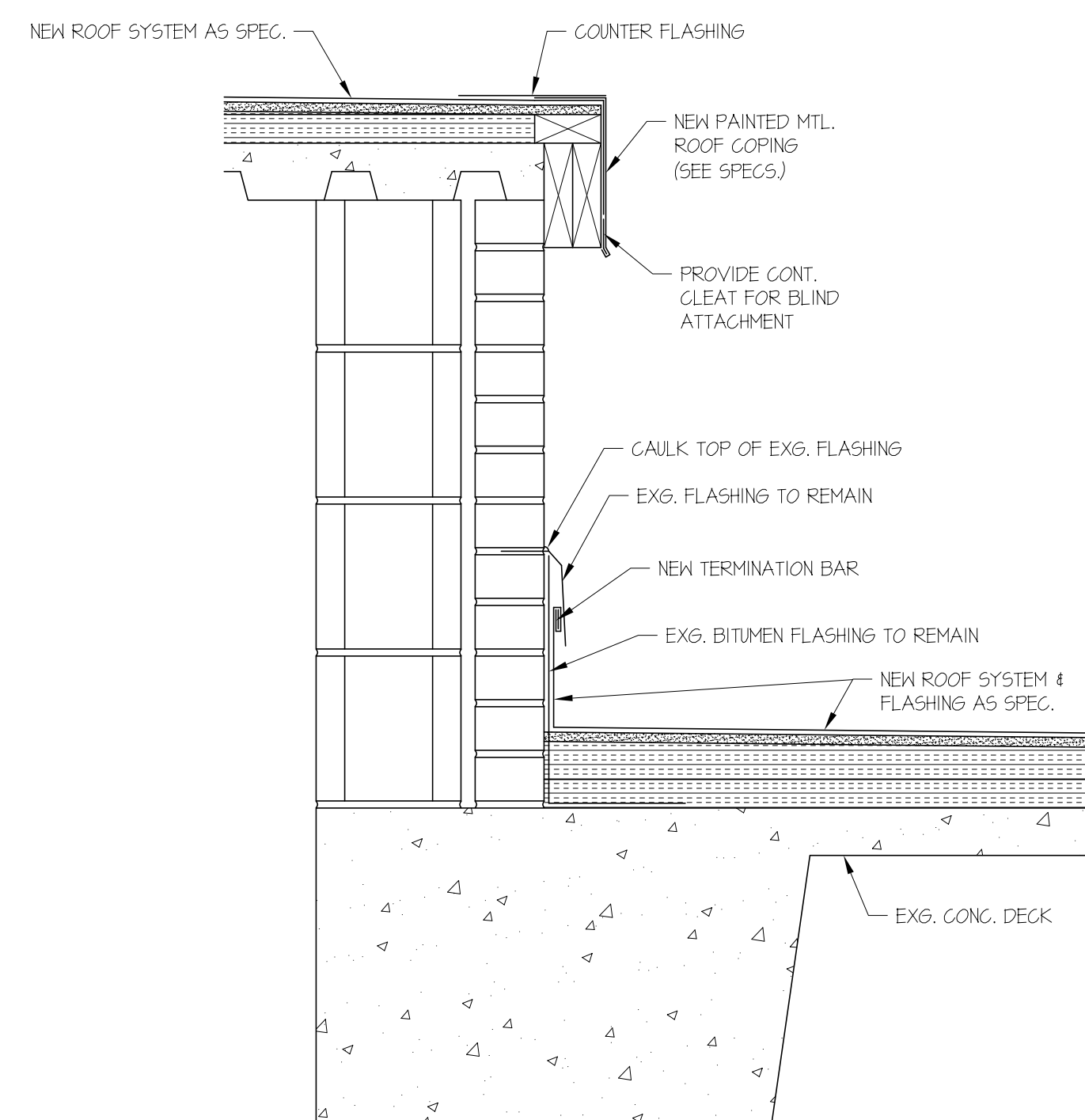
7 ROOF EAVE DETAIL
3/4" = 1'-0"



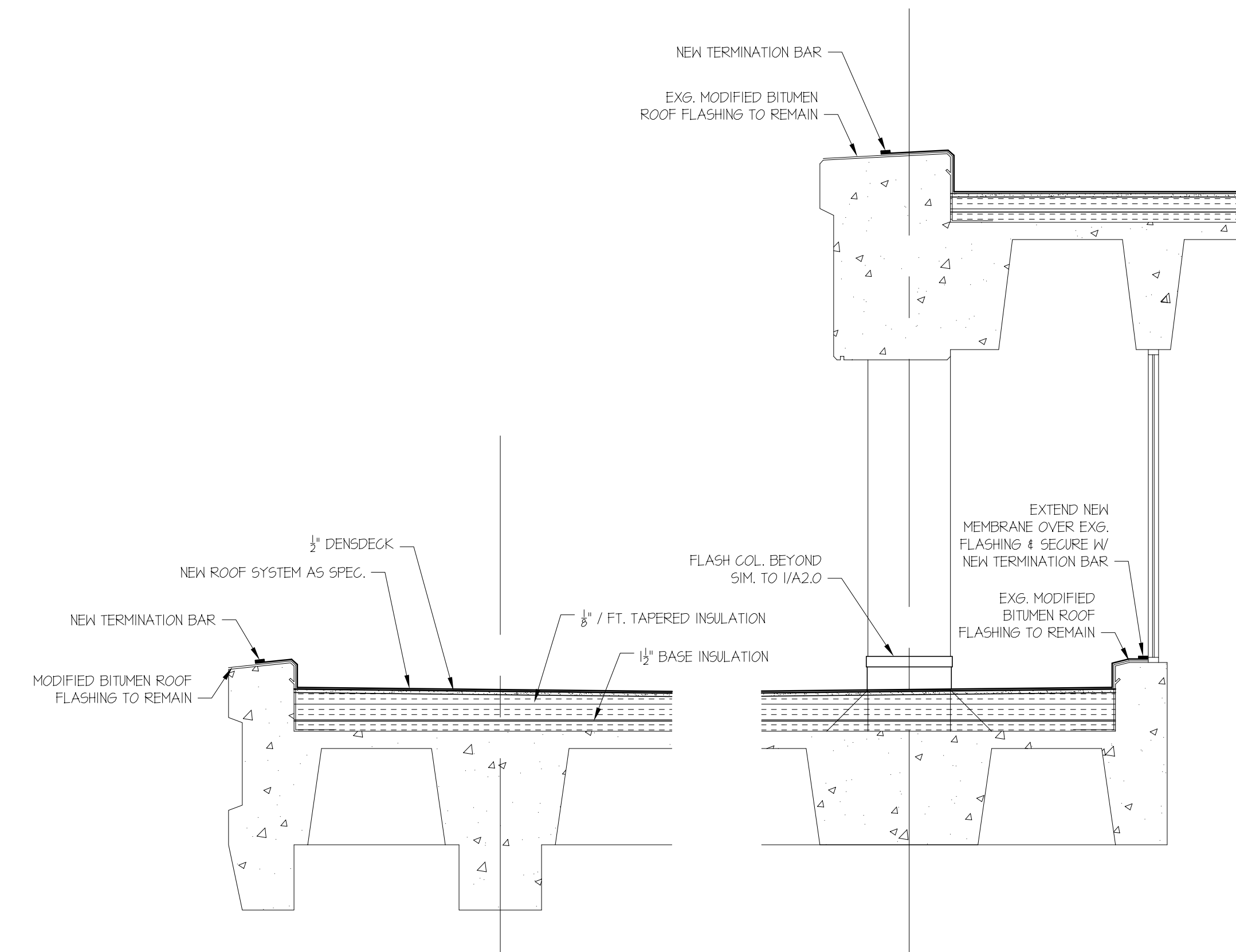
8 SCUPPER DETAIL
3/4" = 1'-0"



9 PITCH POCKET DETAIL
1 1/2" = 1'-0"



10 ROOF EAVE DETAIL
1 1/2" = 1'-0"



11 ROOF EAVE DETAIL
3/4" = 1'-0"